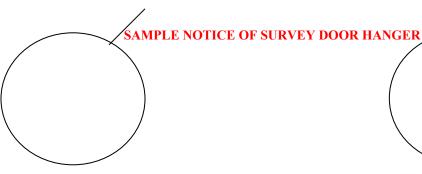
Categorical Exclusion

Appendix G

Public Involvement



SORRY WE MISSED YOU

It is necessary for us to enter your property to conduct a land survey.

We are conducting this survey for the following purpose:

	Locate or Reestablishment of government
	corners and/or lines.
	Property survey to determine property
	boundary lines.
	Topographic survey to determine property
	lines, site improvements, or grade
	elevations.
П	Other:
This	survey primarily involves surveying:
	Your Property
	Neighboring Property
	Other:
ш	
Seve	ral visits may be necessary for us to
	mplish the required work.
	_
Pro	oject Manager:
Pro	oject Number:
_	

THANK YOU FOR YOUR COOPERATION!

If you have any questions, please contact us at:



1351 W. Tapp Road Bloomington, IN 47403 p. 812.336.8277 f. 812.336.0817

www.brcjcivil.com



Indiana Code Title 25 – Professions and Occupations Article 21.5 - Land Surveyors

IC 25-21.5-9-7

Land surveyor entry on land, water, or property

Sec. 7. (a) As used in this section, "public utility" means a corporation, company, partnership, limited liability company, political subdivision (as defined in IC 36-1-2-13), individual, association of individuals, or their lessees, trustees, or receivers appointed by a court that own, operate, manage, or control any plant or equipment within Indiana for the:

- (1) conveyance of telephone messages;
- (2) production, transmission, delivery, or furnishing of heat, light, water, or power; or
- (3) collection, treatment, purification, and disposal in a sanitary manner of liquid and solid waste, sewage, night soil, and industrial waste.
- (b) Subject to section 8 of this chapter and except as provided in subsection (c), a land surveyor and any personnel under the supervision of a land surveyor may enter upon, over, or under any land, water, or property within Indiana for the limited purpose of the practice of land surveying. The land surveyor and any personnel under the supervision of the land surveyor may not interfere with any construction, operation, or maintenance activity being conducted upon the land, water, or property by the owner or occupant.
- (c) Notwithstanding subsection (b), a land surveyor and any personnel under the supervision of a land surveyor may not enter:
 - (1) property owned or controlled by:
 - (A) the Indiana department of homeland security; or
 - (B) a public utility; or
 - (2) a building, dwelling, or structure on the land or property.

IC 25-21.5-9-8

Identification before entry; liability for damage

Sec. 8. (a) To the extent practicable, before entering upon, over, or under any land, water, or property under section 7 of this chapter, a land surveyor and any personnel under the supervision of a land surveyor shall present written identification to the occupant of the land, water, or property.

(b) A land surveyor and any personnel under the supervision of a land surveyor is liable for any damage that may occur to the land, water, or property as a result of entry upon, over, or under the land, water, or property under section 7 of this chapter.

www.in.gov/legislative/ic/code/

B-Line Extension and Multiuse Path Public Meeting 6:00 p.m., September 18, 2019

Meeting Notes:

- 1. The meeting had approximately 20 people in attendance. AZTEC staff included Brynne Taylor, Adrian Reid, Patrick Dierkes, and Brad Faris. City staff included Roy Aten, Neil Kopper, and Dave Williams.
- 2. Adrian's outline for the meeting discussion follows the notes. Yellow highlighted areas denote topics that were inadvertently not mentioned during the presentation.
- 3. A citizen proposed a second public meeting with better graphics of the project, suggesting that a better route for the multiuse path would be to take it down the dead end segment of Fountain Drive and then adjacent to the I-69 ROW fence.
- 4. Several attendees suggested that the path should be on the opposite side of Fountain Drive. The same people also suggested that the path should be located adjacent to the ROW fence.
- 5. One person suggested that a pedestrian connection needs to be made between Hopewell and Fountain. A makeshift path from the north end of Hopewell across the railroad tracks already exists.
- 6. The new thoroughfare plan shows Gray Street aligning with 11th Street. An attendee mentioned this during the open house portion of the meeting. The recent development on the parcel located in the southeast quadrant of the 11th St. / Fountain Dr. intersection would make this connection nearly impossible due to the location of the new building.
- 7. The presentation was interrupted by a citizen who admitted that he was okay with the project but was upset about other private development projects in his neighborhood, particularly the Union at Crescent project across the street from his house. He also had issues with J&B Salvage.
- 8. The roll plots mistakenly noted that the multiuse path was concrete when it's going to be asphalt. We stated asphalt during the presentation.
- 9. No notes were taken on the roll plots.
- 10. The owner of the parcel at 1820 W. Fountain asked if the project would address a drainage issue created by the property next to his (west/north) which constructed an outlet pipe that points at his property.
- 11. Dave Williams stated that he wanted the same aesthetic treatments indicating the street name where the trail begins on the west side of Adams Street. He was less concerned with the same crossing treatment at Fountain.
- 12. Dave wants the same lighting fixtures but said he would talk with his maintenance staff to verify any potential issues they may have had with the decorative fixtures. He wants to replicate the B-Line's aesthetic features and will have input on furnishings, plantings, etc.
- 13. AZTEC staff didn't hear anything from the public input that would indicate specific changes to the current design are necessary. We request the City's direction on those comments requiring evaluation of alternative routes or path placement on the opposite side of Fountain/Crescent from current plans.

2019-09-18 B-Line Extension & MUP Project Draft Discussion Outline

- Roy (5-10 minutes)
 - o Intro
 - Staff
 - Meeting Agenda, Sign-In sheet, and Comment Form
 - Project overview (high-level)
 - Project timeline
 - Process of submitting project input to the City
- AZTEC Adrian Reid, Brad Faris (10-15 minutes)
 - Housekeeping
 - We want input on the project as presented. There are several ways to send us your feedback:
 - Write your comments on the roll plots.
 - Email your comments to Roy Aten at <u>atenro@bloomington.in.gov</u>
 - Use the comment form provided.
 - Comments due Oct. 11.
 - AZTEC presentation, then open up for questions (general ones), and then open house discussions individually.

General Project Information

- City's Long Range Plans for the area include extending the B-Line to the west to intersect with facilities maintained by Monroe County (Karst Farm Greenway, et. al.). Connections from the B-Line to other facilities is assigned high priority in these plans. Fountain Drive and Crescent Road pedestrian connection to both the B-Line and 17th Street.
- MPO (federal) funding for the project. It has been programmed in the TIP since 2017.
- Location of MUP along Fountain Drive (Old Vernal) on the north/east side
- Location of trail north of RR tracks between Adams and Fountain
 - Replicates existing B-Line elements (lighting, pavers, benches, etc.)

G-3

- Terminates at Fountain w/ ramp access to street
- How the east/north side of the street was chosen for the path

- Two developments installing multiuse path were required to build path during the approval process.
- Summarize typical sections refer to aesthetic boards
 - Four typicals shown explain each
 - Path buffering from roadway (tree/utility plot)
 - 11 ft. travel lanes on new roadway segment
 - 2 ft. curb and gutter on new roadway segment
 - 10 ft. multiuse path, or 8 ft. wide at historic property
 - 12 ft. trail B-Line (500 ft. betw. Adams and Fountain)
- Intersection improvements at 11th St., 17th St. and improved intersection at

Fountain and Crescent

- Now that Fountain Drive no longer accesses SR37, it has become a low traffic cul-de-sac. Crescent/Fountain/17th Street now have higher volumes, so the intersection is being redesigned to prioritize through traffic on Crescent and Fountain
- The roadway was already going to shift & impact the intersection to avoid the historic property.

--Interrupted here by citizen making open comments mostly regarding protest of recent development projects in the area. Comments were not specifically project related.

11th & Fountain

- Switch stop control where 11th Street traffic stops for Fountain Drive
- Improve path crosswalk and reduce curb radii to shorten crossing distance.

Crescent and 17th Street

- Midblock crosswalk will be included with construction of 17th Street
- Retaining Walls Will be constructed in 3 locations and are shown in orange on the roll plots. Walls are necessary to minimize ROW and property impacts; permanent ROW behind walls may be necessary for future maintenance/access (function of height, wall type, etc.)
 - Modular block walls e.g. ReadiRock, Reading Rock
- Storm Water The project will add a formal system to capture stormwater runoff.
 - Includes storm pipe, inlets/catch basins, ditches, detention
 - Rule 5 applies to the project, meaning that over 1 acre of land disturbance will occur.
 - Storm water will be treated to remove sediment before discharging
- Utility Relocations CBU, Duke, Vectren, others

- Adding conduit for fiber line with the project. It connects to the existing fiber conduit on the B-Line and the conduit installed with the 17th Street project.
- Railroad coordination w/ Indiana Railroad due to proximity of project to tracks
- Driveway and ROW impacts
 - Driveways Concrete apron, then match path material (asphalt)
 - ROW permanent, temporary, and rights of entries for driveway construction, trail/path, walls
- Environmental considerations
 - Historic property Hensonburg House
 - House restored by BRI and has a covenant that runs with the deed
 - o Example of Queen Anne Cottage
 - Section 106 coordination with INDOT CRO and SHPO
 - Karst features in the project area
 - Tree removals required in some areas
 - Lemon Lane Superfund site
 - Existing detention basin (Comcast property)
- Maintenance of Traffic during Construction
 - Maintain traffic during construction w/ 1 exception for intersection improvement at Fountain and Crescent
 - Local access to be maintained except for construction of specific driveways
 - Construction scheduled for 2021.
- Group Discussion (10-15 minutes)
 - Steer to bigger picture items and not individual property issues.
 - THANK EVERYONE WHO ATTENDED
- Individual Discussion (25-30 minutes)
 - o Intended for individual comments, property-related details, etc.

